

RECORD DESCRIPTION

Tract "A":
The NW 1/4 of the SW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minnesota, excepting therefrom the West 660.0 feet thereof.

Tract "B":
The North 790.1 feet of the NE 1/4 of the SW 1/4 and the North 790.1 feet of the NW 1/4 of the SE 1/4, all in Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minnesota, excepting therefrom all that part thereof on file and of record in the office of the Register of Deeds in and for said Wash. Co., Minn., as White Pine Estates, as the same is monumented.

Tract "C":
The East 1528.0 feet of the S 1/2 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., which lies South of the centerline of 88th St. No., as the same is presently located and traveled, excepting therefrom all that part of the Southwest Quarter of the Northwest Quarter (SW 1/4 of NW 1/4) of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minnesota, described as follows: Commencing at an iron pipe located at the southeast corner of SW 1/4 of NW 1/4 of Sec. 24, T30N, R21W, Wash. Co., Minnesota; thence westerly along the South line of said SW 1/4 of NW 1/4, on an assumed bearing of South 89°31'03" West, for 215.90 feet; thence North 0°04'17" East for 275.75 feet to the point of beginning of this description; thence continuing North 0°04'17" East for 580.48 feet to the centerline of 88th Street North, as the same is presently located and traveled; thence South 81°03'48" East along said centerline of traveled 88th Street North for 65.98 feet; thence South 11°53'33" East for 464.83 feet; thence South 33°47'36" West for 98.23 feet; thence South 81°49'13" West for 21.53 feet to the point of beginning.

Tract "D":
The North 109.89 feet (6.66 Rods) of the SE 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying westerly of the westerly right-of-way line of the Northern Pacific Railroad as now laid out and operated.

Tract "E":
All that part of the NE 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying southwestwesterly of the southwestwesterly right-of-way line of the Northern Pacific Railroad as now laid out and operated.

Tract "F":
The North 109.89 feet (6.66 Rods) of the East 500.0 feet of the SW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn.

Tract "G":
The East 500.0 feet of the NW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying southerly of the southerly right-of-way of the Northern Pacific Railroad as now laid out and operated.

Tract "H":
The West 198.0 feet of the SE 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying North of the centerline of 88th St. No., as the same is presently located and traveled, excepting therefrom the North 109.89' (6.66 Rods) thereof.

Tract "I":
The East 500.0 feet of the SW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying North of the centerline of 88th St. No., as the same is presently located and traveled, excepting therefrom the North 109.89' (6.66 Rods) thereof.

Tract "J":
All that part of the SW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying West of a line that is parallel with and 500.0 feet West of the East line of said SW 1/4 of the NW 1/4 and North of the centerline of 88th St. No. as the same is presently located and traveled. Excepting therefrom the North 109.89' (6.66 Rods) thereof.

Tract "K":
The North 109.89 feet (6.66 Rods) of the SW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying West of the line that is parallel with and 500.0 feet West of the East line of said SW 1/4 of the NW 1/4 and northwesterly of the centerline of 88th St. No. as the same is presently located and traveled.

Tract "L":
All that part of the NW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying southerly of the southerly right-of-way of the Northern Pacific Railroad and northerly of the centerline of 88th St. No. as the same is presently located and traveled, excepting therefrom the East 500.00 feet thereof and also excepting therefrom the following described tract: All that part of the West 500.0 feet of the East 1000.0 feet of said NW 1/4 of the NW 1/4 which lies South of said Southerly right-of-way of the Northern Pacific Railroad and northerly of the following described line: the point of beginning of the line to be described is a point in the West line of the East 1090.0 feet of said NW 1/4 of the NW 1/4; said point being 895.0 feet North of the SW corner of said East 1090.0 feet, and running thence southeasterly to a point in the West line of the East 500.00 feet of said NW 1/4 of the NW 1/4, said point being 635.0 feet North of the SW corner of said East 500.0 feet, said point being the end of the line to be described.

Tract "M":
All that part of the NE 1/4 of the NE 1/4 of Sec. 23, T30N, R21 W, Grant Twp., Wash. Co., Minn., lying southerly of the southerly right-of-way line of the Northern Pacific Railroad, and lying northerly of the centerline of 88th St. No., as the same is presently located and traveled.

Tract "N":
All that part of the SW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., described as follows: Commencing at an iron pipe located at the southeast corner of SW1/4 of NW1/4 of Sec. 24, T30N, R21W, Wash. Co., Minn.; thence westerly along the South line of said SW1/4 of NW1/4, on an assumed bearing of South 89°31'03" West, for 215.90 feet to the point of beginning of this description; thence North 0°04'17" East for 275.75 feet; thence South 81°49'13" West for 16.05 feet; thence South 2°52'16" East for 181.28 feet; thence North 86°28'41" West for 218.15 feet; thence South 32°03'27" West for 79.04 feet; thence North 88°13'20" West for 94.15 feet; thence North 2°25'48" West for 89.37 feet; thence South 82°45'13" West for 61.25 feet; thence South 21°19'25" East for 94.77 feet to a point on said South line of SW1/4 of NW1/4 of Sec. 24; thence North 89°31'03" East along said South line of SW1/4 of NW1/4 for 385.15 feet to the point of beginning.

(Clubhouse and parking lot site):
All that part of the West 590.0 feet of the East 1090 feet of the NW1/4 of the NW1/4 of Sec. 24, T30N, R21W, Grant Twp., Washington Co., Minn., which lies southerly of the southerly right-of-way line of the Burlington-Northern Ry. Co., (formerly Northern-Pacific Ry.) and northerly of the following described line. The point of beginning of the line to be described is a point in the West line of the East 1090.00 feet of said NW1/4 of the NW1/4, said point being 895.00 feet North of the SW corner of said East 1090.00 feet, and running thence southeasterly to a point in the West line of the East 500.00 feet of said NW1/4 of the NW1/4, said point being 635.00 feet North of the SW corner of said East 500.00 feet, said point being the end of the line to be described.

Abstract Property
THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 641120, DATED JUNE 9, 2021.

ITEMS CORRESPONDING TO SCHEDULE B-II

14. Resolution filed July 11, 1997 as Document Number 937610. (NO PLOTTABLE INFORMATION, SEE DOCUMENT FOR DETAILS)
15. Unconfined Easement for pipeline purposes in favor of Northern Natural Gas Company, a Delaware corporation, filed February 2, 1956 as Document Number 184304 and Assignment filed January 15, 1991 as Document Number 650859. (NOT MATHEMATICALLY CONFIRMED, CENTERLINE OF EXISTING PIPE IS SHOWN BASED OFF OBSERVED EVIDENCE OF FIELD MARKINGS PER GOPHER ONE CALL LOCATE AND MAPS PROVIDED BY UTILITY COMPANY)

VICINITY MAP - NOT TO SCALE



LEGEND OF SYMBOLS & ABBREVIATIONS

⊙	WELL HEAD	⊠	ELECTRIC TRANSFORMER
⊕	STORM DRAIN INLET	⊞	ELECTRIC METER
▤	EXISTING CULVERT	⊙	BOLLARD POST
⊞	GAS METER	⊞	UTILITY VAULT
⊞	UTILITY POLE	●	IRON MONUMENT FOUND
---	BURIED GAS LINE	○	IRON MONUMENT SET WITH CAP NO. 62591
---	OVERHEAD POWER		
---	DELINEATED WETLAND		

SEE SHEET 2-5 FOR DRAWING

UTILITY NOTES



THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES AND GROUND MARKINGS.
ONE CALL TICKET# 212590450 UNDERGROUND UTILITY PLANS WERE REQUESTED FROM THE RESPECTIVE UTILITY PROVIDERS AND PLOTTED AS PROVIDED.



SIGNIFICANT OBSERVATIONS

- ▲ BITUMINOUS SURFACE (LOFTON AVE. N) CROSSES OVER SUBJECT PROPERTY WITHOUT THE BENEFIT OF A KNOWN EASEMENT. NOTE: 33' RIGHT OF WAY IS DEDICATED NORTH OF THE SOUTH LINE OF WHITE PINE ESTATES HOWEVER NO DOCUMENT WAS PROVIDED INDICATING RIGHT OF WAY TAKING SOUTH OF THE SOUTH LINE OF WHITEPINE ESTATES.
- ▲ BITUMINOUS CART PATH CROSSES ONTO ADJACENT PROPERTY BY UP TO 27.8 FEET WITHOUT THE BENEFIT OF A KNOWN EASEMENT.
- ▲ POB OF TRACT "N" IS WEST OF THE WEST LINE OF THE EAST 1528.0 OF THE S 1/2 OF THE NW 1/4 WHICH CAUSES A POTENTIAL GAP OF UP TO 0.6 FEET BETWEEN TRACT "N" AND TRACT "C"

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
9/23/2021	FIRST DRAFT		
FIELD WORK: 09/22/2021	DRAFTED: 09/28/21	CHECKED BY: KJK	FB & PG.

MISCELLANEOUS NOTES

- PER TABLE A ITEM 4: PROPERTY CONTAINS 148.84 ACRES (6,474,740± SQ. FT.) OF GROSS LAND AREA.
- PER TABLE A ITEM 16: THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- PER TABLE A ITEM 17: WE ARE NOT AWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, OR EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- PROPERTY HAS PHYSICAL AND DIRECT ACCESS TO AND FROM 2ND AVE. SE BEING A DULY DEDICATED PUBLIC RIGHT-OF-WAY.
 - BASED ON OBSERVED EVIDENCE ONLY, THE SITE DOES NOT CONTAIN ANY CEMETERIES OR BURIAL GROUNDS.
 - THE BEARINGS ARE BASED ON THE MN VRS WASHINGTON COUNTY COORDINATE SYSTEM, NAD83(2011).

ALTA/NSPS LAND TITLE SURVEY

for
STILLWATER OAKS GOLF COURSE
NWSE Project No. 21454
11151 88TH STREET NORTH, STILLWATER MN 55082
BASED UPON TITLE COMMITMENT NO. 641120
OF FIRST AMERICAN TITLE INSURANCE COMPANY
BEARING AN EFFECTIVE DATE OF JUNE 9, 2021 @ 7:00 A.M.

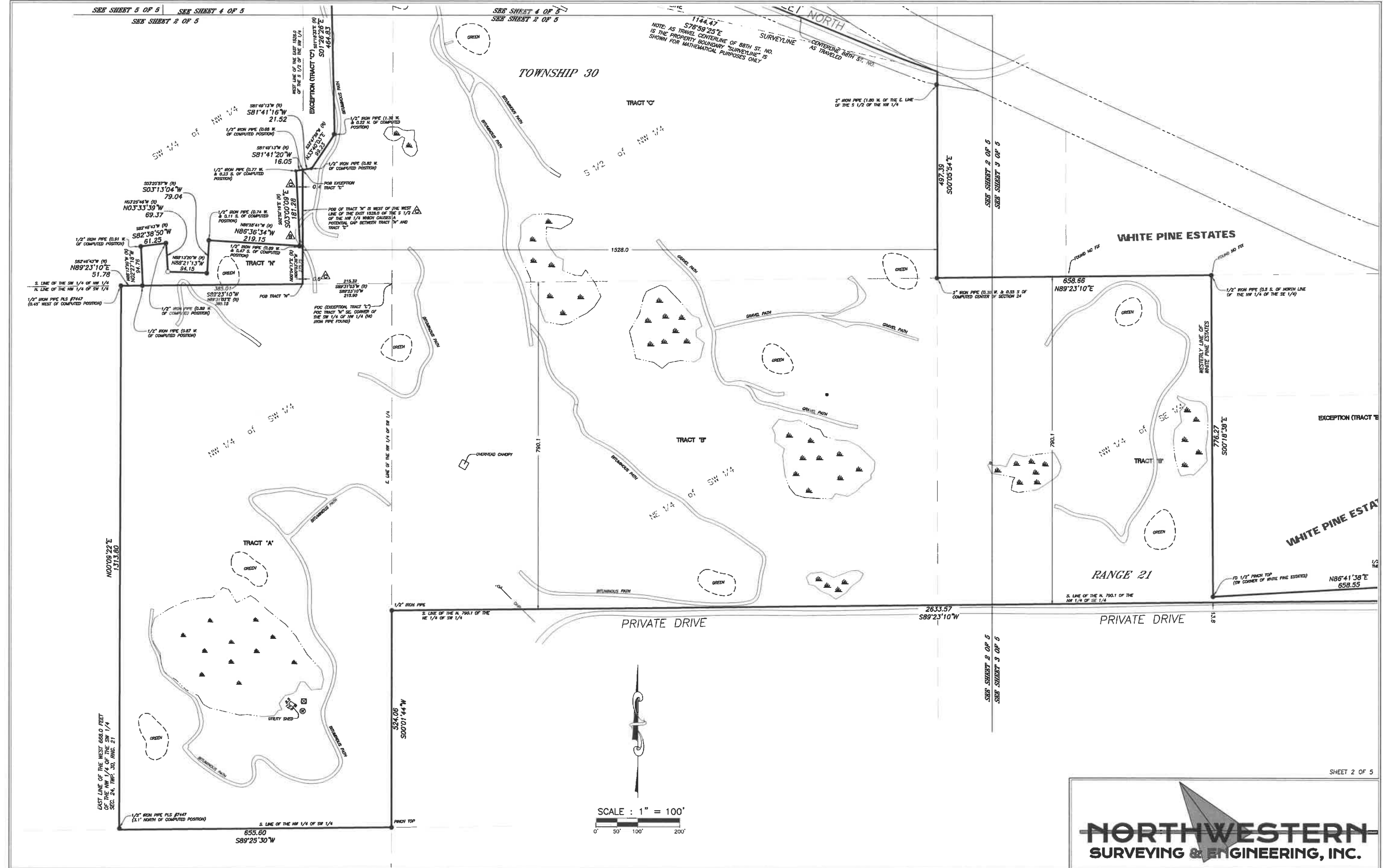
Surveyor's Certification
To: Fairway Estates of Grant, LLC; and First American Title Insurance Company:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6a, 6b, 7a, 7b1, 8, 9, 10, 11a, 13, 14, 16, and 17 of Table A thereof. The field work was completed on 08/12/2021.

Surveyor's signature

Kaleb J. Kadelbach
20980 Rogers Drive Suite 500
Rogers, MN 55374
(763) 515-6040
Surveyor License #57070

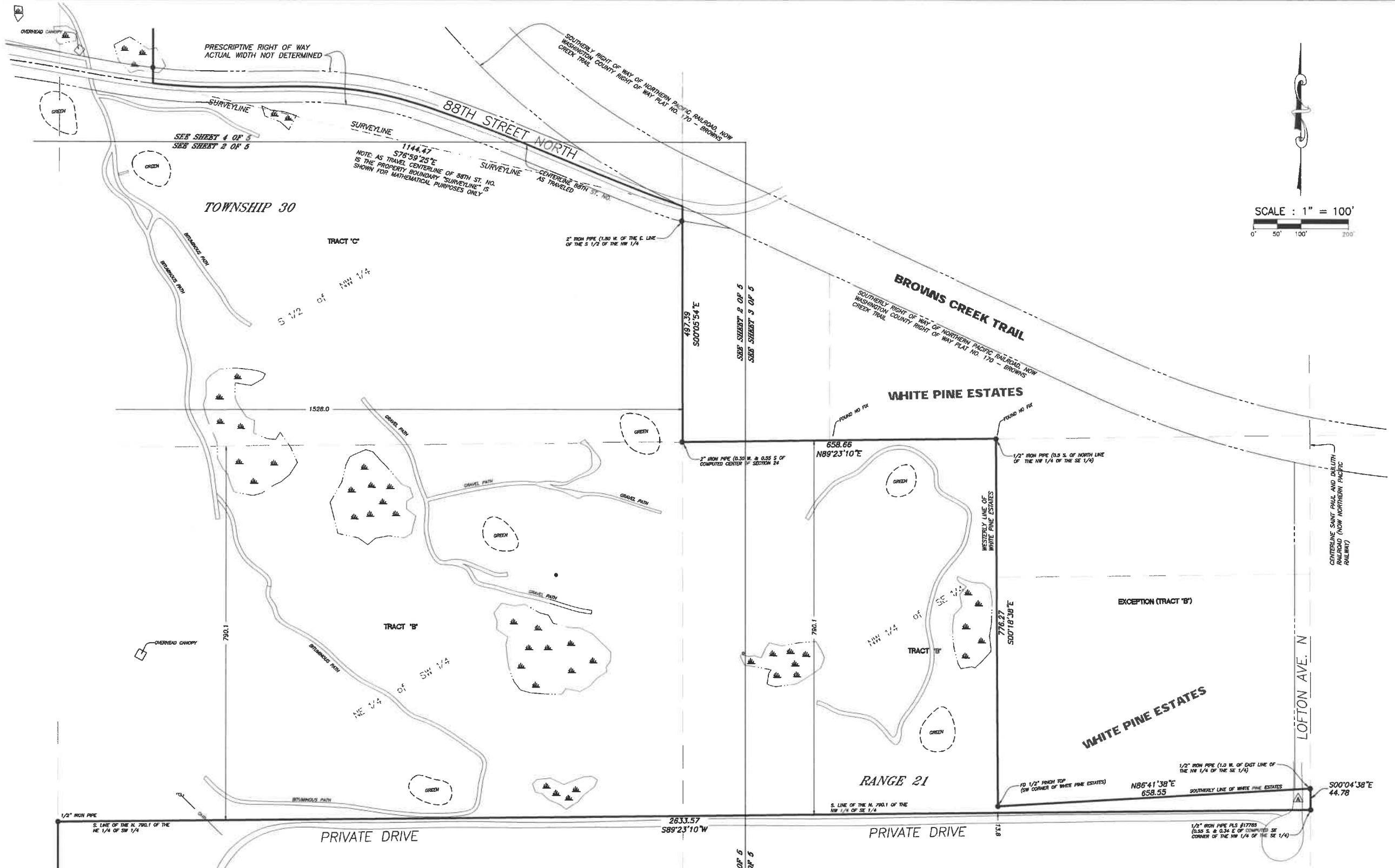
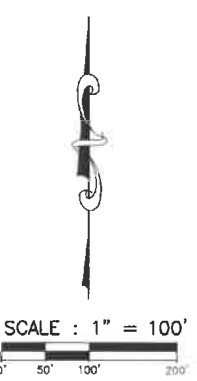


NOTE: AS TRAVEL CENTERLINE OF BOTH ST. NO. IS THE PROPERTY BOUNDARY "SURVEYLINE" IS SHOWN FOR MATHEMATICAL PURPOSES ONLY



SCALE : 1" = 100'





524.06
S00°01'44"W

SEE SHEET 2 OF 5
SEE SHEET 3 OF 5

SHEET 3 OF 5

NORTHWESTERN
SURVEYING & ENGINEERING, INC.

STILLWATER OAKS

RESIDENTIAL DEVELOPMENT PROJECT

CITY OF GRANT, MN

OWNER:
FAIRWAY ESTATES
OF GRANT, LLC

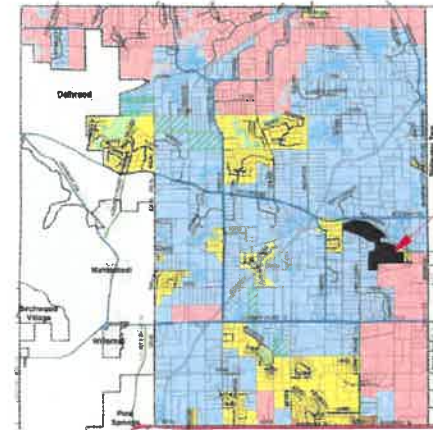
Jason Palmby
612-220-6641
jason@palmby.com



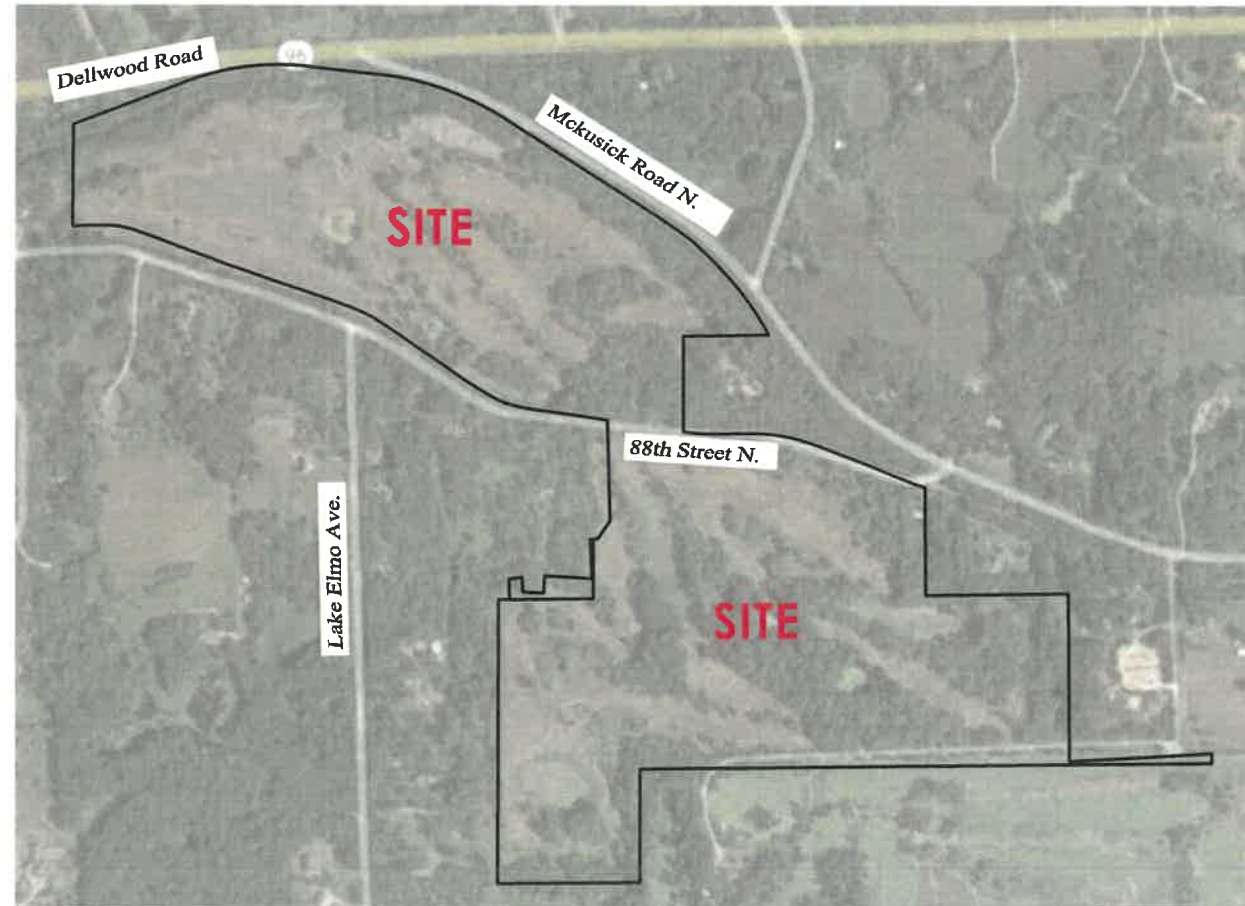
MINNESOTA



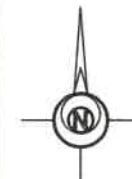
WASHINGTON COUNTY



CITY OF GRANT, MN



PROJECT LOCATION



INDEX OF CIVIL SITE DRAWINGS:

- C0 PROJECT LOCATION PLAN
- C1.1-C1.3 PRELIMINARY PLAT
- C2.1-C2.3 GRADING & DRAINAGE PLAN
- C3.1-C3.3 STORM SEWER PLAN
- C4.1-C4-4 SWPPP
- C5.1-C5-3 EXISTING CONDITIONS & REMOVAL PLAN
- C6.1 STREET PROFILES
- C7.1 DETAILS

STILLWATER OAKS
RESIDENTIAL DEVELOPMENT PROJECT
CITY OF GRANT,
WASHINGTON COUNTY, MN
PROJECT LOCATION PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Scott Dahl
Date: 07/28/22 Reg. No. 24348
PREPARED BY: CIVIL ENGINEERING SITE DESIGN
118 East Broadway St.
Mendota, MN 55362
Phone: 763-314-0829
www.ch2lead.com

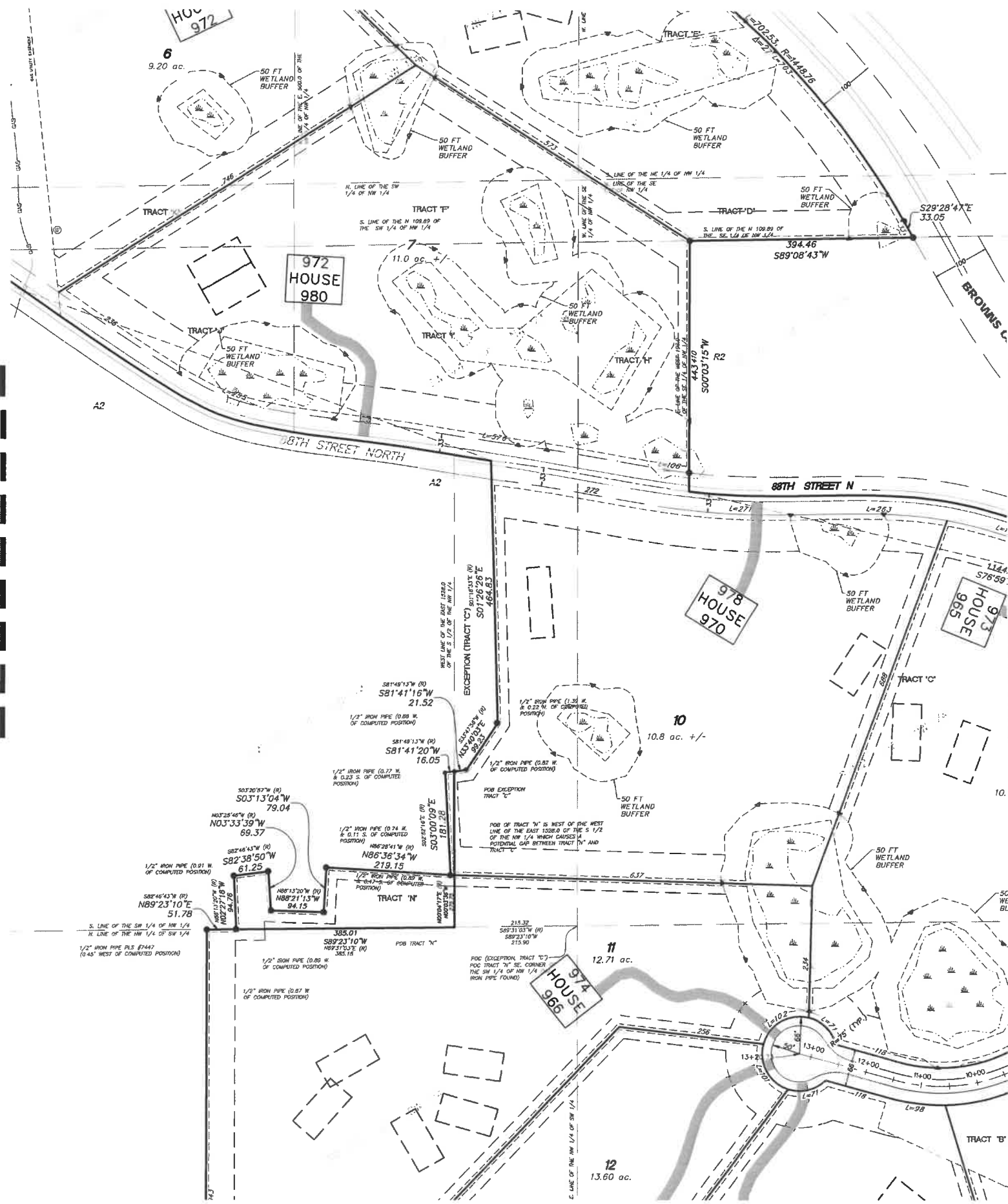
DATE	DRAWN BY	DESIGNED BY	CHECKED BY	REVISIONS	HORIZONTAL SCALE	VERTICAL SCALE
07/28/22	SD	SD	SD		1 inch = 100 feet	1 inch = 10 feet

FILE NO. 00835

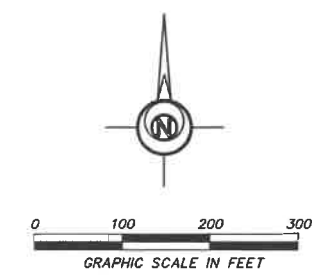


Project Location Plan

MATCH LINE C1.1/C1.2



MATCH LINE C1.2/C1.3



- LEGEND:**
- Existing Contours
 - - - Existing Storm Sewer
 - Existing Spot Elevation
 - - - Existing Storm Sewer
 - - - Existing Sanitary Sewer
 - - - Existing Watermain Sewer
 - - - Existing Underground Telephone
 - - - Existing Underground Electric
 - - - Existing Tree Line
 - - - Existing R/W Line
 - - - Existing Easement
 - - - Existing Boundary Line
 - - - Existing Catch Basin
 - - - Existing Manhole
 - - - Existing Hydrant
 - - - Existing Flared end Section
 - - - Proposed Street R/W
 - - - Proposed Lot Line
 - - - Proposed Setback
 - - - Proposed D&U Easement
 - - - Proposed Driveway
 - - - Delineated Wetland by Kjolhaug Environmental Services March 16, 2021
 - - - Proposed Septic Field
 - - - Proposed Wetland Buffer
 - - - Proposed Wetland Buffer Sign

OWNER:
FAIRWAY ESTATES OF GRANT, LLC
 Jason Palmby
 612-220-6641
 jason@palmby.com

STILLWATER OAKS
 RESIDENTIAL DEVELOPMENT PROJECT
 CITY OF GRANT
 WASHINGTON COUNTY, MN
PRELIMINARY PLAT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Scott D. Walker
 Date: 07/28/22 Reg. No. 24348
 PREPARED BY: **CIVIL ENGINEERING**
SITE DESIGN
 118 East Broadway St.
 Monticello, MN 55362
 Phone: 763-314-0929
 www.civileng.com

REVISIONS	HORIZONTAL SCALE	VERTICAL SCALE
	1" = 40' (SEE SHEET C1.1)	1" = 4' (SEE SHEET C1.1)

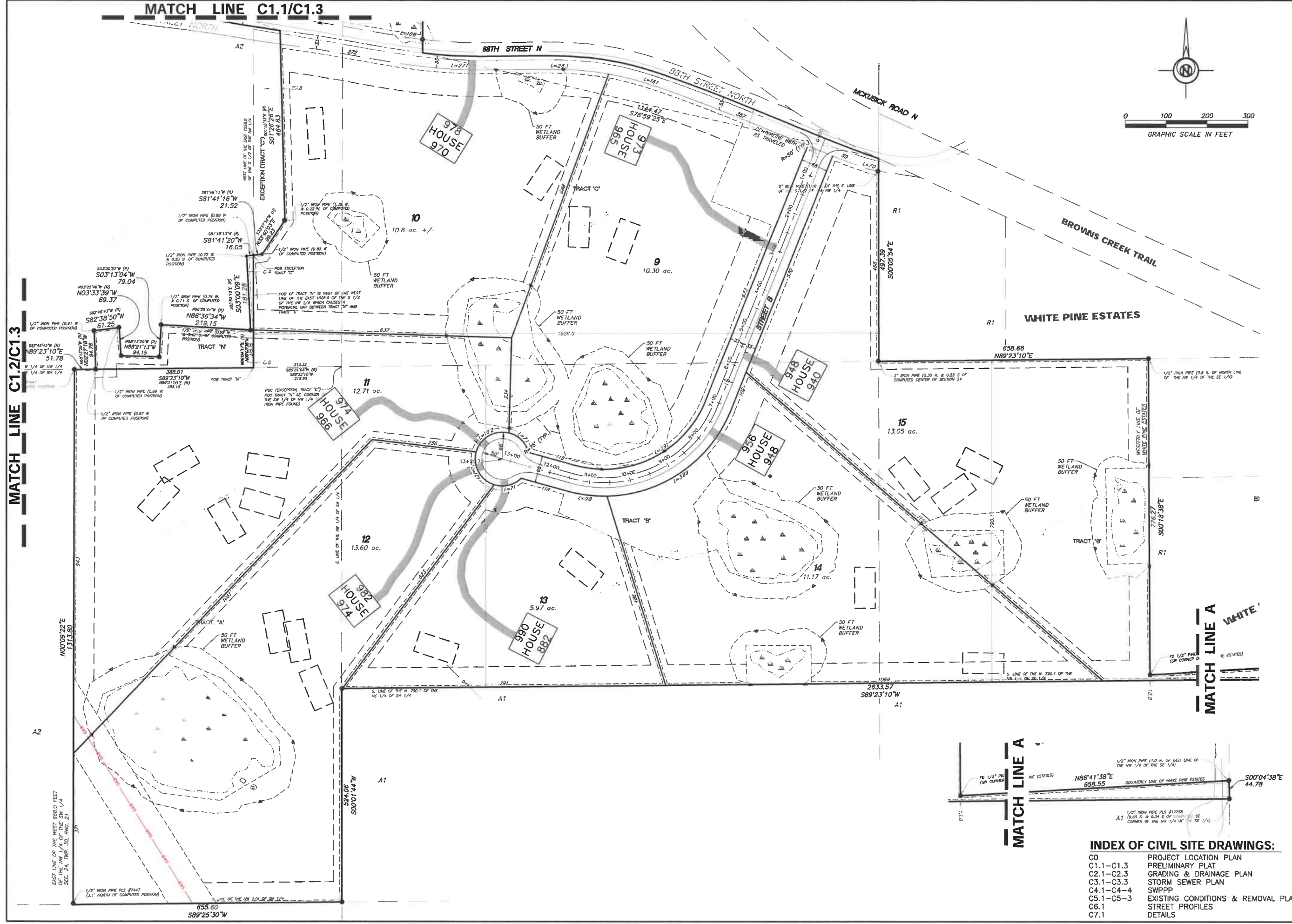
DATE 07/28/22	DRAWN BY SD	DESIGNED BY SD	CHECKED BY SD
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FILE NO. 00835

INDEX OF CIVIL SITE DRAWINGS:

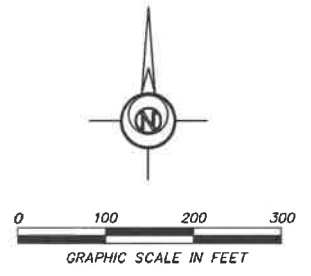
C0	PROJECT LOCATION PLAN
C1.1-C1.3	PRELIMINARY PLAT
C2.1-C2.3	GRADING & DRAINAGE PLAN
C3.1-C3.3	STORM SEWER PLAN
C4.1-C4.4	SWPPP
C5.1-C5.3	EXISTING CONDITIONS & REMOVAL PLAN
C6.1	STREET PROFILES
C7.1	DETAILS

C1.2
 Preliminary Plat



OWNER:
**FAIRWAY ESTATES
 OF GRANT, LLC**

Jason Palmby
 612-220-6641
 jason@palmby.com



STILLWATER OAKS
 RESIDENTIAL DEVELOPMENT PROJECT
 CITY OF GRANT
 WASHINGTON COUNTY, MN
 PRELIMINARY PLAT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Scott D. Datta
 Date: 07/28/22 Reg. No. 24348
 PREPARED BY: CIVIL ENGINEERING
 SITE DESIGN
 118 East Broadway St.
 Monticello, MN 55632
 Phone: 753-314-0829
 www.civiland.com

REVISIONS	DATE	BY	DESCRIPTION

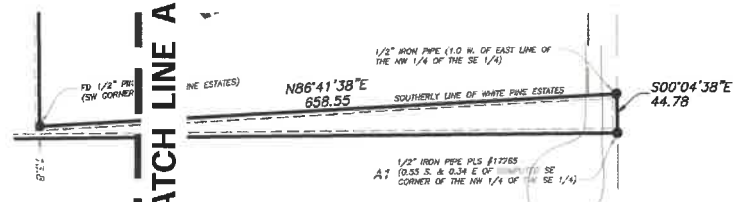
DATE	07/28/22
DRAWN BY	SD
DESIGNED BY	SD
CHECKED BY	SD

FILE NO. 00835

C1.3
 Preliminary Plat

INDEX OF CIVIL SITE DRAWINGS:

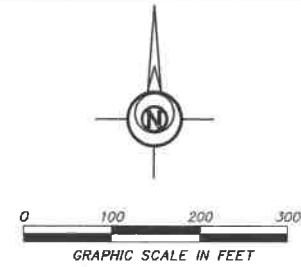
C0	PROJECT LOCATION PLAN
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C4.1-C4.4	SWPPP
C5.1-C5.3	EXISTING CONDITIONS & REMOVAL PLAN
C6.1	STREET PROFILES
C7.1	DETAILS



MATCH LINE C2.1/C2.2



MATCH LINE C2.2/C2.3



LEGEND:

	Existing Contours
	Existing Delineated Wetland
	Existing Storm Sewer
	Existing Spot Elevation
	Proposed Contours
	Proposed Storm Sewer
	Proposed Spot Elevation
	Flow Direction
	Proposed Storm Sewer Inlet Protection

OWNER:
**FAIRWAY ESTATES
 OF GRANT, LLC**

Jason Palmby
 612-220-6641
 jason@palmby.com

STILLWATER OAKS
 RESIDENTIAL DEVELOPMENT PROJECT
 CITY OF GRANT
 WASHINGTON COUNTY, MN
GRADING & DRAINAGE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 07/28/22 Reg. No. 24348
 PREPARED BY: CIVIL ENGINEERING
 SITE DESIGN
 118 East Broadway St.
 Monticello, MN 55362
 Phone: 763-314-0829
 www.chilensd.com

REVISIONS	DATE	BY	SCALE

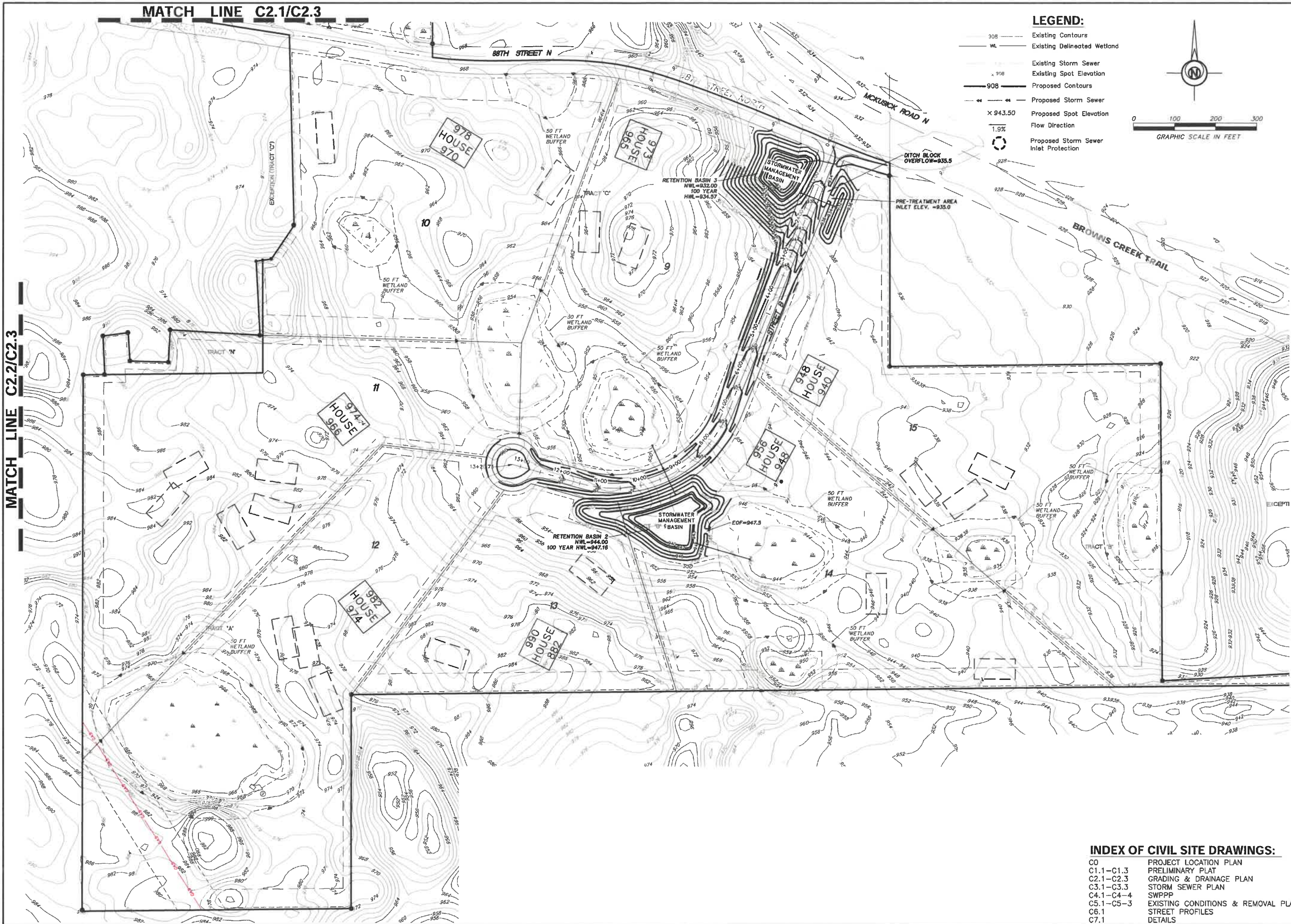
DATE 07/28/22	DRAWN BY SD	DESIGNED BY SD	CHECKED BY SD
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FILE NO. 00835

INDEX OF CIVIL SITE DRAWINGS:

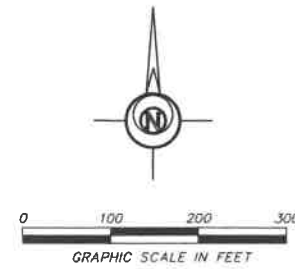
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C4.1-C4-4	SWPPP
C5.1-C5-3	EXISTING CONDITIONS & REMOVAL PLAN
C6.1	STREET PROFILES
C7.1	DETAILS

C2.2
 Grading & Drainage Plan



LEGEND:

- Existing Contours
- wt. Existing Delineated Wetland
- Existing Storm Sewer
- x 908 Existing Spot Elevation
- 908 Proposed Contours
- Proposed Storm Sewer
- x 943.50 Proposed Spot Elevation
- Flow Direction
- 1.9% Proposed Storm Sewer Inlet Protection



OWNER:
FAIRWAY ESTATES OF GRANT, LLC
 Jason Palmby
 612-220-6641
 jason@palmby.com

STILLWATER OAKS
 RESIDENTIAL DEVELOPMENT PROJECT
 CITY OF GRANT
 WASHINGTON COUNTY, MN
GRADING & DRAINAGE PLAN

MATCH LINE C2.2/C2.3

MATCH LINE C2.1/C2.3

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Scott Dalk
 Date: 07/28/22 Reg. No. 24348
 PREPARED BY: CIVIL ENGINEERING
 SITE DESIGN
 118 East Broadway St.
 Monticello, MN 55362
 Phone: 763-314-0929
 www.civilsd.com

REVISIONS	HORIZONTAL SCALE	VERTICAL SCALE
	1 inch = _____ feet	1 inch = _____ feet
	1 inch = _____ feet	1 inch = _____ feet

DATE	07/28/22
DRAWN BY	SD
DESIGNED BY	SD
CHECKED BY	SD

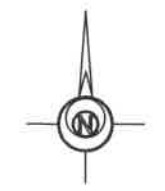
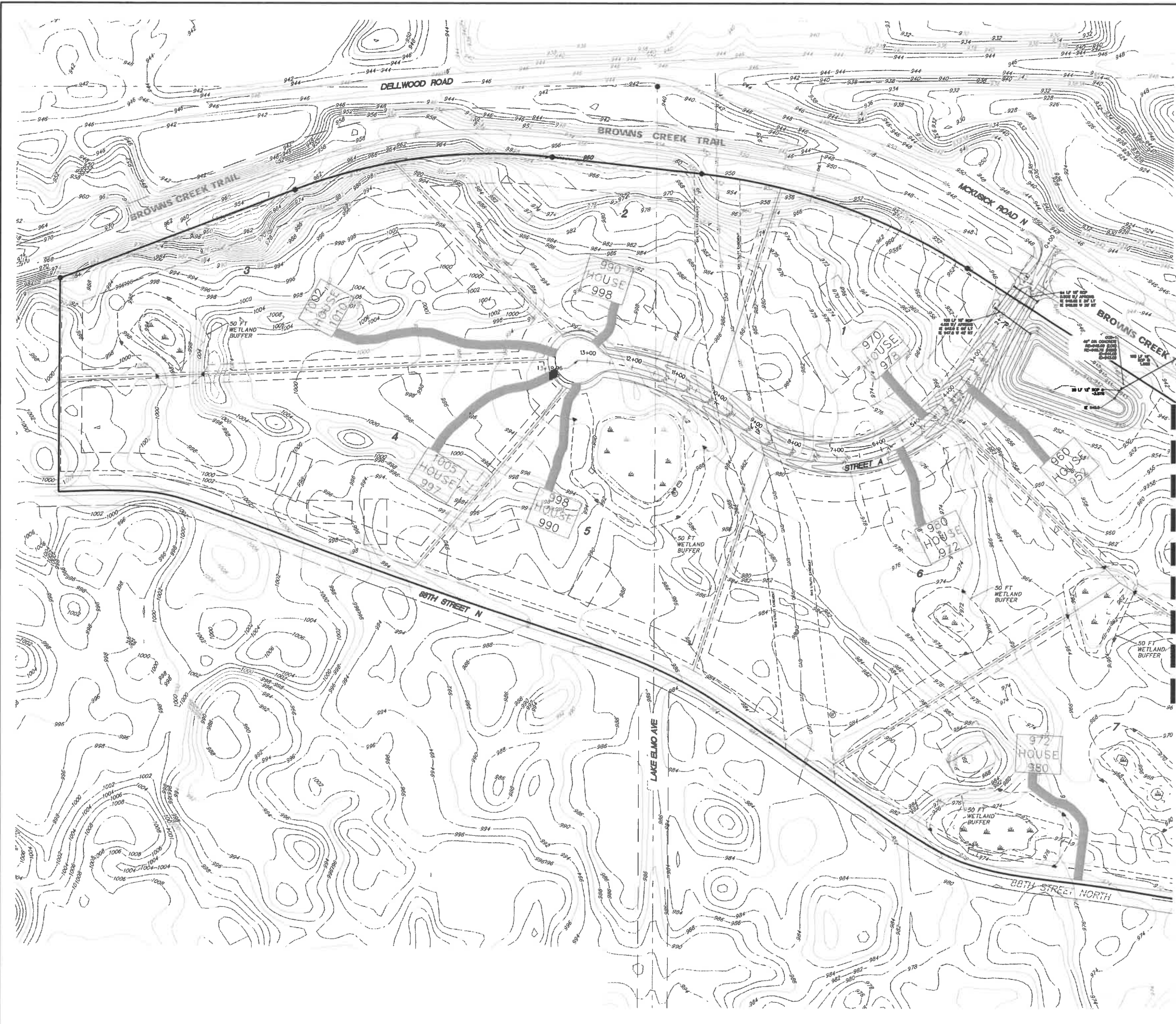
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- C4.1-C4.4 SWPPP
- C5.1-C5.3 EXISTING CONDITIONS & REMOVAL PLAN
- C6.1 STREET PROFILES
- C7.1 DETAILS

C2.3

Grading & Drainage Plan



- LEGEND:**
- Existing Contours
 - - - Existing Storm Sewer
 - - - Existing Water Main
 - - - Existing Sanitary Sewer
 - - - Existing Trees
 - - - Existing Bndy Line
 - - - Proposed Sanitary Sewer
 - - - Proposed Water Main
 - - - Proposed Gate Valve
 - - - Proposed Storm Sewer

SURVEY DATA
 SURVEY INFORMATION PROVIDED BY:
 NORTHWESTERN SURVEYING & ENGINEERING, INC.
 P.O. BOX 3007
 BEMIDJ, MN 56601
 DATED: SEPT 23, 2021

GENERAL UTILITY NOTES

1. SPECIFICATIONS APPLICABLE FOR THIS PROJECT: CURRENT STANDARD SPECIFICATIONS FOR THE CITY OF OTSEGO AND THE LATEST VERSION OF THE STANDARD UTILITY SPECIFICATIONS BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
2. OSHA REQUIREMENTS SHALL BE FOLLOWED FOR ALL WORK ON THIS PROJECT.
3. THE CONTRACTOR SHALL NOTIFY GOPHER STATE ONE CALL 48 HOURS PRIOR TO ANY EXCAVATION.
4. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND FACILITIES TO ALLOW PROPER FUNCTIONING DURING AND AFTER CONSTRUCTION. ANY REQUIRED SUPPORTING STRUCTURES SHALL BE SUPPLIED BY THE CONTRACTOR AS WORK INCIDENTAL TO THE CONTRACT.
6. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS BETWEEN EXISTING UTILITIES AND THE PROPOSED CONSTRUCTION. THE ENGINEER WILL COORDINATE WITH THE UTILITY COMPANY IN QUESTION TO DETERMINE THE NEED FOR RELOCATION OF THE EXISTING UTILITY.
7. EXISTING CONDITIONS SUCH AS SAND IN MANHOLES OR VALVE BOXES SHALL BE IDENTIFIED BY THE CONTRACTOR AND THESE SHALL BE REPORTED TO THE ENGINEER PRIOR TO EXCAVATION BY THE CONTRACTOR. ONCE CONSTRUCTION HAS BEGUN, ALL DAMAGE TO UNDERGROUND UTILITIES WILL BE ASSUMED TO HAVE BEEN CAUSED BY THE CONTRACTOR. ANY REPAIRS NECESSARY SHALL BE PERFORMED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
8. FINAL PLAT SHALL GOVERN FOR EASEMENTS AND LOT LINES.
9. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND PROJECT ENGINEER 48 HOURS PRIOR TO STARTING WORK OR AS REQUIRED BY THE LOCAL JURISDICTION OR BE SUBJECT TO BEING SHUT DOWN.
10. THE CONTRACTOR SHALL PRESERVE AND PROTECT THE MARKERS AND MONUMENTS SET FOR THE SUBDIVISION OF THE LAND.
11. THE CONTRACTOR SHALL SCHEDULE THE SOILS ENGINEER TO FACILITATE CERTIFICATION OF ALL CONTROLLED FILLS IN A TIMELY MANNER. DENSITY TESTS SHALL MEET THE FOLLOWING:
 - A. WITHIN THE UPPER 3' OF STREETS OR PAVEMENT, THE GRADING CONTRACTOR SHALL UTILIZE APPROVED SOILS THAT ARE WITHIN 1% OF THE OPTIMUM MOISTURE CONTENT AS DEFINED BY ASTM D-998 STANDARD PROCTOR TEST MEETING 100% STANDARD PROCTOR DENSITY AND NOT EXCEEDING THIS COMPACTION BY MORE THAN 1% BELOW THE UPPER 3'. COMPACTION SHALL MEET 95% STANDARD PROCTOR DENSITY AND BE WITHIN 3% OF THE OPTIMUM MOISTURE CONTENT. GRADING TOLERANCES SHALL AVERAGE 0.1", BUT SHALL NOT BE CONSISTENTLY HIGH OR LOW.
 - B. GRADING TOLERANCES FOR THE REMAINDER OF THE SITE SHALL BE 0.15".
12. THE OWNER SHALL PAY FOR ALL TESTING OF SOILS COMPACTION. ANY AREAS WHICH FAIL TO MEET THE ABOVE STANDARDS SHALL BE CORRECTED AND RE-TESTED BY THE OWNER'S TESTING AGENCY AT THE CONTRACTOR'S EXPENSE.
13. CONTRACTOR SHALL PROVIDE TEMPORARY TRAFFIC CONTROL AS NEEDED IN COMPLIANCE WITH MNDOT TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS FIELD MANUAL (CURRENT VERSION) FOR CONSTRUCTION ADJACENT TO TRAVEL WAYS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF THE DEPTH OF EXISTING UTILITIES LISTED ON THIS PLAN PRIOR TO ORDERING OF ANY FITTINGS, STRUCTURES, CASTINGS, ETC. ENGINEER AND OWNER SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES FOUND AS DEPTHS ARE ESTIMATED.
15. CONTRACTOR TO COMPLY WITH ALL REGULATORY AGENCY PERMIT CONDITIONS FOR PERMITS OBTAINED BY THE OWNER AND FOR PERMITS OBTAINED BY THE GENERAL CONTRACTOR.
16. ALL WORK PERFORMED AND MATERIALS USED FOR CONSTRUCTION OF UTILITIES MUST CONFORM TO THE CITY OF OTSEGO STANDARD SPECIFICATIONS AND DETAILS.

INDEX OF CIVIL SITE DRAWINGS:

- C0 PROJECT LOCATION PLAN
- C1.1-C1.3 PRELIMINARY PLAT
- C2.1-C2.3 GRADING & DRAINAGE PLAN
- C3.1-C3.3 STORM SEWER PLAN
- C4.1-C4.4 SWPPP
- C5.1-C5.3 EXISTING CONDITIONS & REMOVAL PLAN
- C6.1 STREET PROFILES
- C7.1 DETAILS

MATCH LINE C3.1/C3.2

OWNER:
FAIRWAY ESTATES OF GRANT, LLC
 Jason Palmby
 612-220-6641
 jason@palmby.com

STILLWATER OAKS
RESIDENTIAL DEVELOPMENT PROJECT
CITY OF GRANT
WASHINGTON COUNTY, MN
STORM SEWER PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 S. D. DANK
 Date: 07/28/22 Reg. No. 24348
 PREPARED BY: CIVIL ENGINEERING
 118 East Broadway St.
 PO Box 568
 Monticello, MN 56341
 Phone: 783-314-9929
 www.civillead.com

DATE	07/28/22	DRAWN BY	SD	DESIGNED BY	SD	CHECKED BY	SD
REVISIONS:							VERTICAL SCALE 1 inch = 10 feet
							HORIZONTAL SCALE 1 inch = 100 feet (SEE SHEET 28 OF 30)

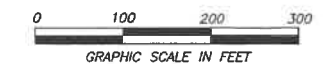
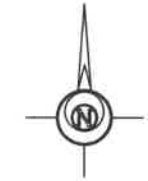
FILE NO. 00835

C3.1
 Storm Sewer Plan

MATCH LINE C3.1/C3.2



MATCH LINE C3.2/C3.3



- LEGEND:**
- Existing Contours
 - - - Existing Storm Sewer
 - - - Existing Water Main
 - - - Existing Sanitary Sewer
 - - - Existing Trees
 - - - Existing Bndy Line
 - - - Proposed Sanitary Sewer
 - - - Proposed Water Main
 - - - Proposed Gate Valve
 - - - Proposed Storm Sewer
 - - - Proposed Fire Hydrant

OWNER:
FAIRWAY ESTATES OF GRANT, LLC
 Jason Palmby
 612-220-6641
 jason@palmby.com

STILLWATER OAKS
RESIDENTIAL DEVELOPMENT PROJECT
CITY OF GRANT
WASHINGTON COUNTY, MN
STORM SEWER PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Signature
 Date: 07/28/22 Reg. No. 24348
 PREPARED BY: CIVIL ENGINEERING SITE DESIGN
 118 East Broadway St.
 Monticello, MN 55362
 Phone: 763-314-0929
 www.civilst.com

REVISIONS	DATE	BY	DESCRIPTION

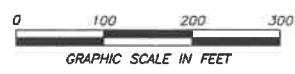
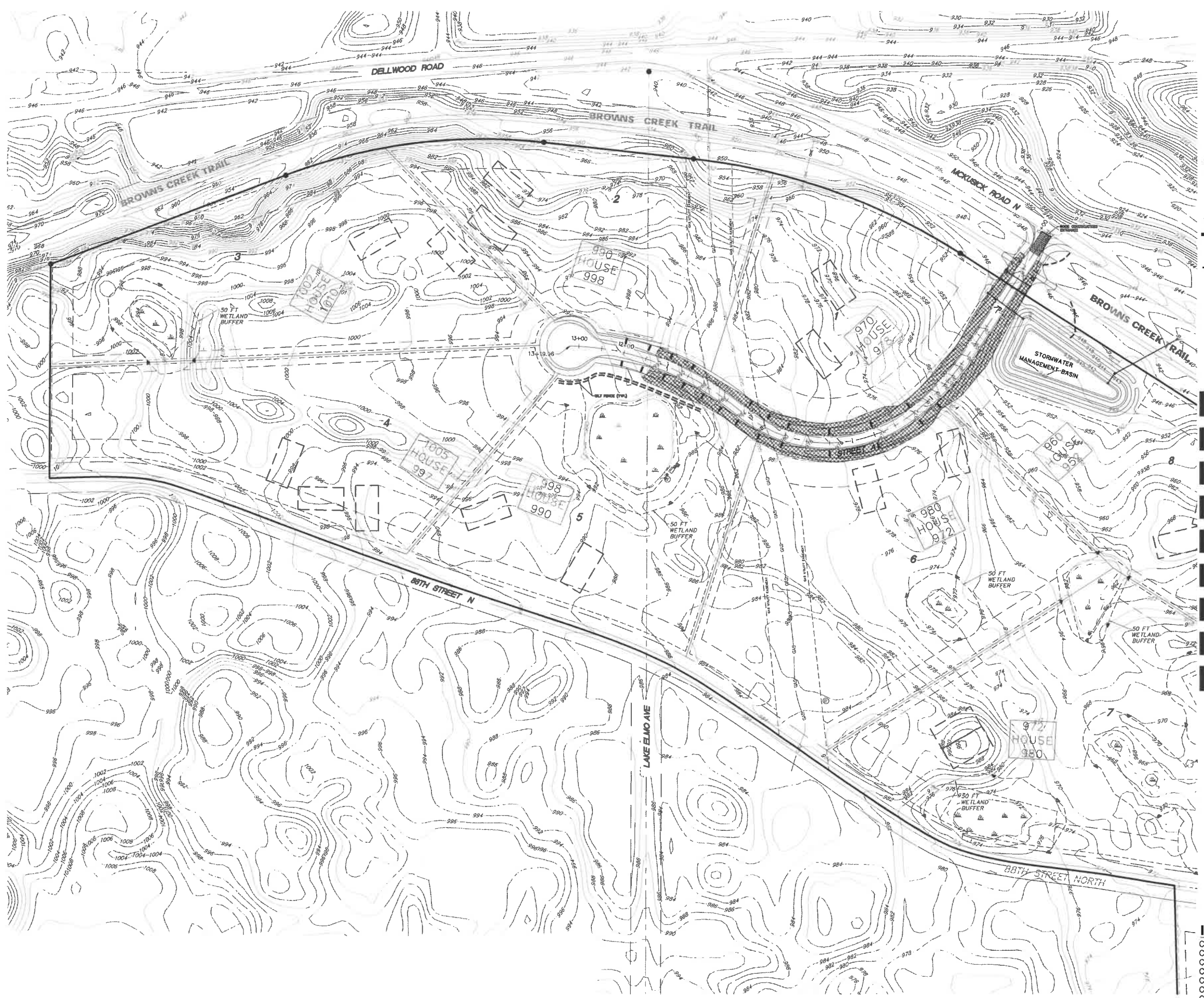
DATE 07/28/22	DRAWN BY SD	DESIGNED BY SD	CHECKED BY SD
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FILE NO. 00835

INDEX OF CIVIL SITE DRAWINGS:

C0	PROJECT LOCATION PLAN
C1.1-C1.3	PRELIMINARY PLAT
C2.1-C2.3	GRADING & DRAINAGE PLAN
C3.1-C3.3	STORM SEWER PLAN
C4.1-C4.4	SWPPP
C5.1-C5-3	EXISTING CONDITIONS & REMOVAL PLAN
C6.1	STREET PROFILES
C7.1	DETAILS

C3.2
 Storm Sewer Plan



- LEGEND:**
- Existing Contours
 - Existing Storm Sewer
 - 908- Proposed Contours
 - Proposed Storm Sewer
 - - - Proposed Silt Fence
 - Proposed 10" Fiber Logs
 - - - Proposed 8" Fiber Logs
 - Proposed Storm Sewer Inlet Protection
 - Flow Direction
 - ▨ Proposed Erosion Blanket Cat. 3
 - ▨ Wetland Impact Area

MATCH LINE C4.2/C4.3

OWNER:
FAIRWAY ESTATES OF GRANT, LLC
 Jason Palmby
 612-220-6641
 jason@palmby.com

STILLWATER OAKS
 RESIDENTIAL DEVELOPMENT PROJECT
 CITY OF GRANT
 WASHINGTON COUNTY, MN
 SWPPP

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Scott D. Dalk
 Date: 07/28/22 Reg. No. 24,348
 PREPARED BY: CIVIL ENGINEERING
 SITE DESIGN
 118 East Broadway St.
 Moorhead, MN 56502
 Phone: 763-314-0929
 www.civileng.com

REVISIONS	HORIZONTAL SCALE	VERTICAL SCALE
	1 inch = 100 feet	1 inch = 10 feet

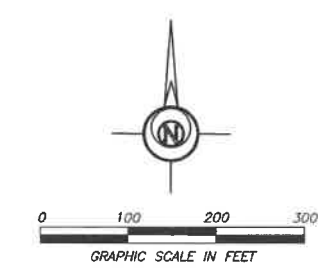
DATE 07/28/22	DRAWN BY SD	DESIGNED BY SD	CHECKED BY SD
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FILE NO. 00835

- INDEX OF CIVIL SITE DRAWINGS:**
- C0 PROJECT LOCATION PLAN
 - C1.1-C1.3 PRELIMINARY PLAT
 - C2.1-C2.3 GRADING & DRAINAGE PLAN
 - C3.1-C3.3 STORM SEWER PLAN
 - C4.1-C4.4 SWPPP
 - C5.1-C5-3 EXISTING CONDITIONS & REMOVAL PLAN
 - C6.1 STREET PROFILES
 - C7.1 DETAILS

C4.2

SWPPP



- LEGEND:**
- Existing Contours
 - Existing Sanitary Sewer
 - Existing Water Main
 - Existing Storm Sewer
 - Existing Trees
 - Existing Body Line
 - PROPOSED DEMOLITION & REMOVAL AREA
 - PROPOSED TREE CLEARING & GRUBBING AREA

EXISTING PROPERTY DESCRIPTION
SEE SURVEY

SURVEY DATA
SURVEY INFORMATION PROVIDED BY:
NORTHWESTERN SURVEYING & ENGINEERING, INC.
P.O. BOX 3067
BEMIDJI, MN 56601
DATED: SEPT 23, 2021

- DEMOLITION NOTES**
1. Install perimeter sediment controls as soon as possible during grub and grub operations. See Erosion Control Plan.
 2. Provide air quality control measures at the request of the Engineer or City Representatives. Take necessary measures to keep dust levels to a minimum. Provide sweeping of adjacent paving as needed, or as required by the City Engineer.
 3. Locate and protect all utility lines prior to and during demolition. Utility locations shown are based on best available information and are not guaranteed. Contact private utility service for disconnection and removal.
 4. Remove or relocate all existing site features that interfere with the proposed construction.
 5. Protect existing site features that are to remain during construction. Replace anything damaged with new construction.
 6. Pavement shall be saw cut at limits of removal unless noted otherwise. Do not impede existing traffic circulation to adjacent businesses or streets.
 7. Sufficient topsoil shall be stockpiled to allow for the replacement of 6" of topsoil in disturbed areas to be re-vegetated.
 8. All construction and post-construction parking shall be on-site. At no time shall parking, loading, or unloading be allowed on public streets.
 9. Storage of materials or equipment shall not be allowed within public Right-of-Way and shall be maintained on site within project boundaries.

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C3.1-C3.3	STORM SEWER PLAN
C4.1-C4.4	SWPPP
C5.1-C5.3	EXISTING CONDITIONS & REMOVAL PLAN
C6.1	STREET PROFILES
C7.1	DETAILS

OWNER:
FAIRWAY ESTATES OF GRANT, LLC

Jason Palmby
612-220-6641
jason@palmby.com

STILLWATER OAKS
RESIDENTIAL DEVELOPMENT PROJECT
CITY OF GRANT
WASHINGTON COUNTY, MN

EXISTING CONDITION & REMOVAL PLAN

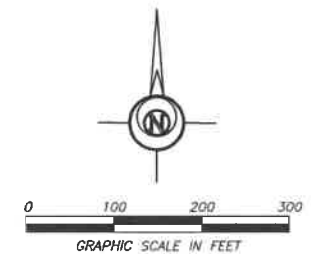
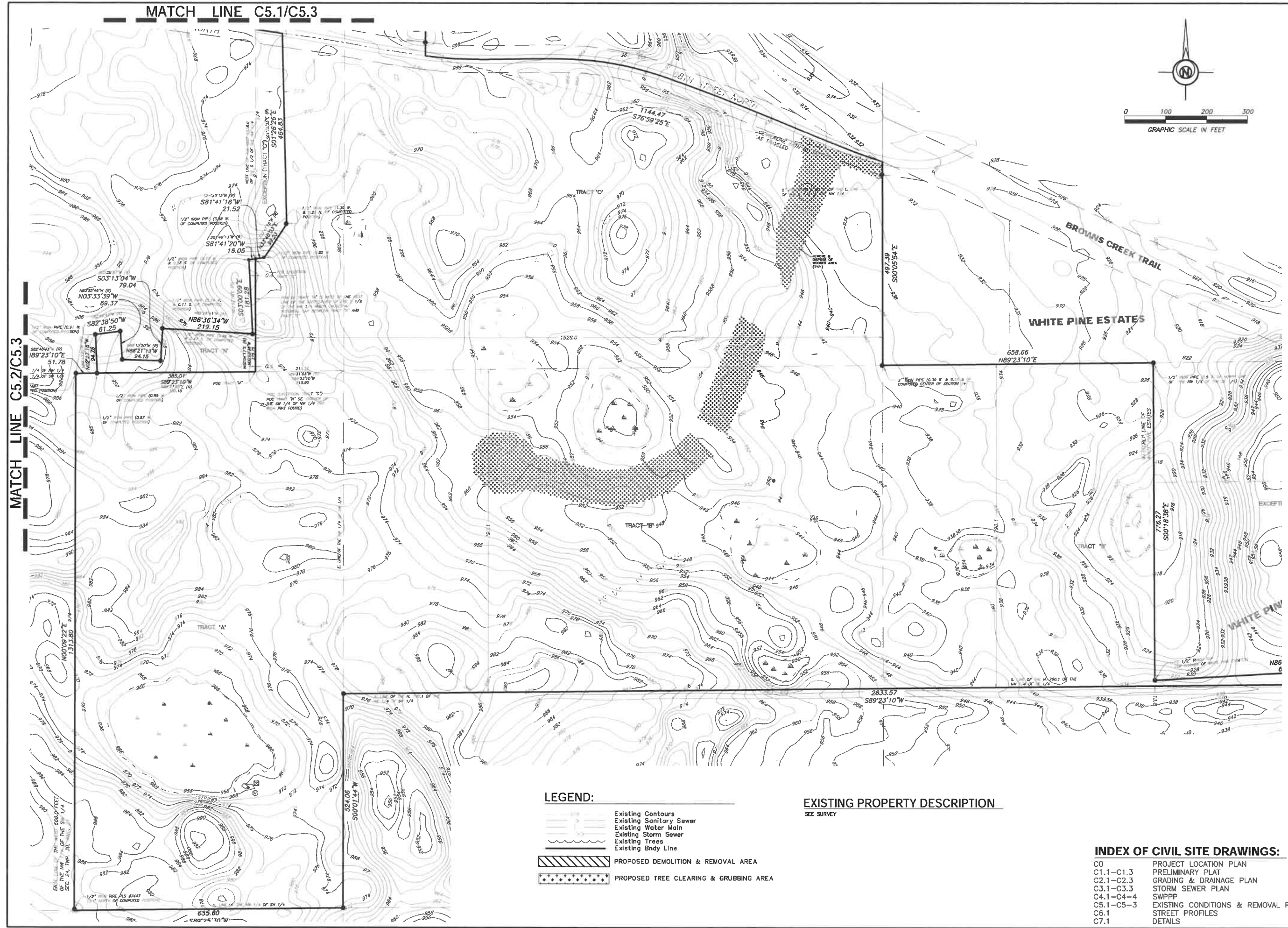
MATCH LINE C5.1/C5.2

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Scott Dahl
Date: 07/28/22 Reg. No. 24,348
PREPARED BY: **CIVIL ENGINEERING**
SITE DESIGN
118 East Broadway St.
P.O. Box 56
Mankato, MN 56002
Phone: 763-314-0929
www.chivesd.com

REVISIONS	DATE	DRAWN BY	DESIGNED BY	CHECKED BY	VERTICAL SCALE 1 inch = _____ feet	HORIZONTAL SCALE 1 inch = _____ feet (SEE DRAWING C5.2)
	07/28/22	SD	SD	SD		

FILE NO. 00835

C5.1
Existing Conditions & Removal Plan



OWNER:
**FAIRWAY ESTATES
 OF GRANT, LLC**

Jason Palmby
 612-220-6641
 jason@palmby.com

STILLWATER OAKS
 RESIDENTIAL DEVELOPMENT PROJECT
 CITY OF GRANT
 WASHINGTON COUNTY, MN

**EXISTING CONDITION &
 REMOVAL PLAN**

MATCH LINE C5.2/C5.3

MATCH LINE C5.1/C5.3

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jason Palmby
 State of Minnesota
 License No. 243448

DATE: 07/28/22 PREPARED BY: CIVIL ENGINEERING SITE DESIGN

118 East Broadway St.
 Mendota, WI 53542
 Phone: 763-311-0929
 www.civilsd.com

REVISIONS	HORIZONTAL SCALE	VERTICAL SCALE
	1 inch = 100 feet	1 inch = 10 feet

DATE 07/28/22	DRAWN BY SD	DESIGNED BY SD	CHECKED BY SD
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FILE NO. 00835

- LEGEND:**
- Existing Contours
 - Existing Sanitary Sewer
 - Existing Water Main
 - Existing Storm Sewer
 - Existing Trees
 - Existing Body Line
 - PROPOSED DEMOLITION & REMOVAL AREA
 - PROPOSED TREE CLEARING & GRUBBING AREA

EXISTING PROPERTY DESCRIPTION
 SEE SURVEY

- INDEX OF CIVIL SITE DRAWINGS:**
- CO PROJECT LOCATION PLAN
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 - C4.1-C4.4 SWPPP
 - C5.1-C5.3 EXISTING CONDITIONS & REMOVAL PLAN
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 - C7.1 DETAILS

C5.3
 Existing Conditions &
 Removal Plan

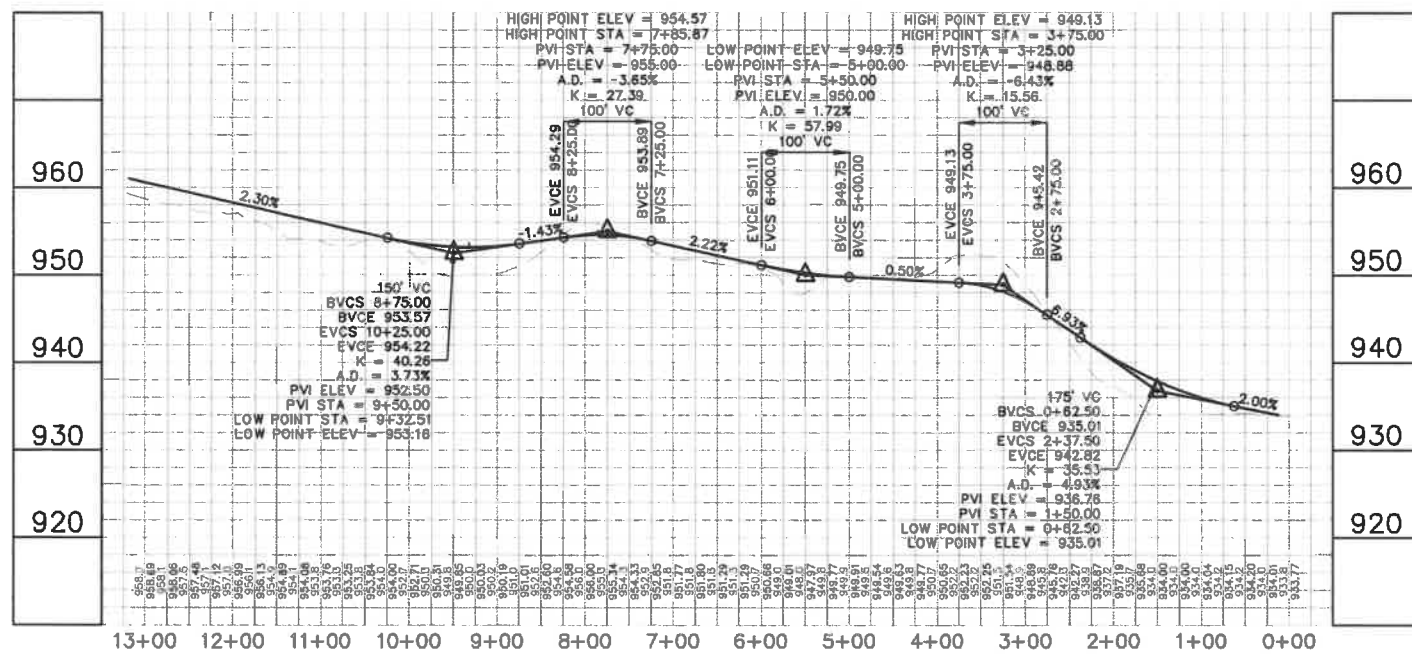
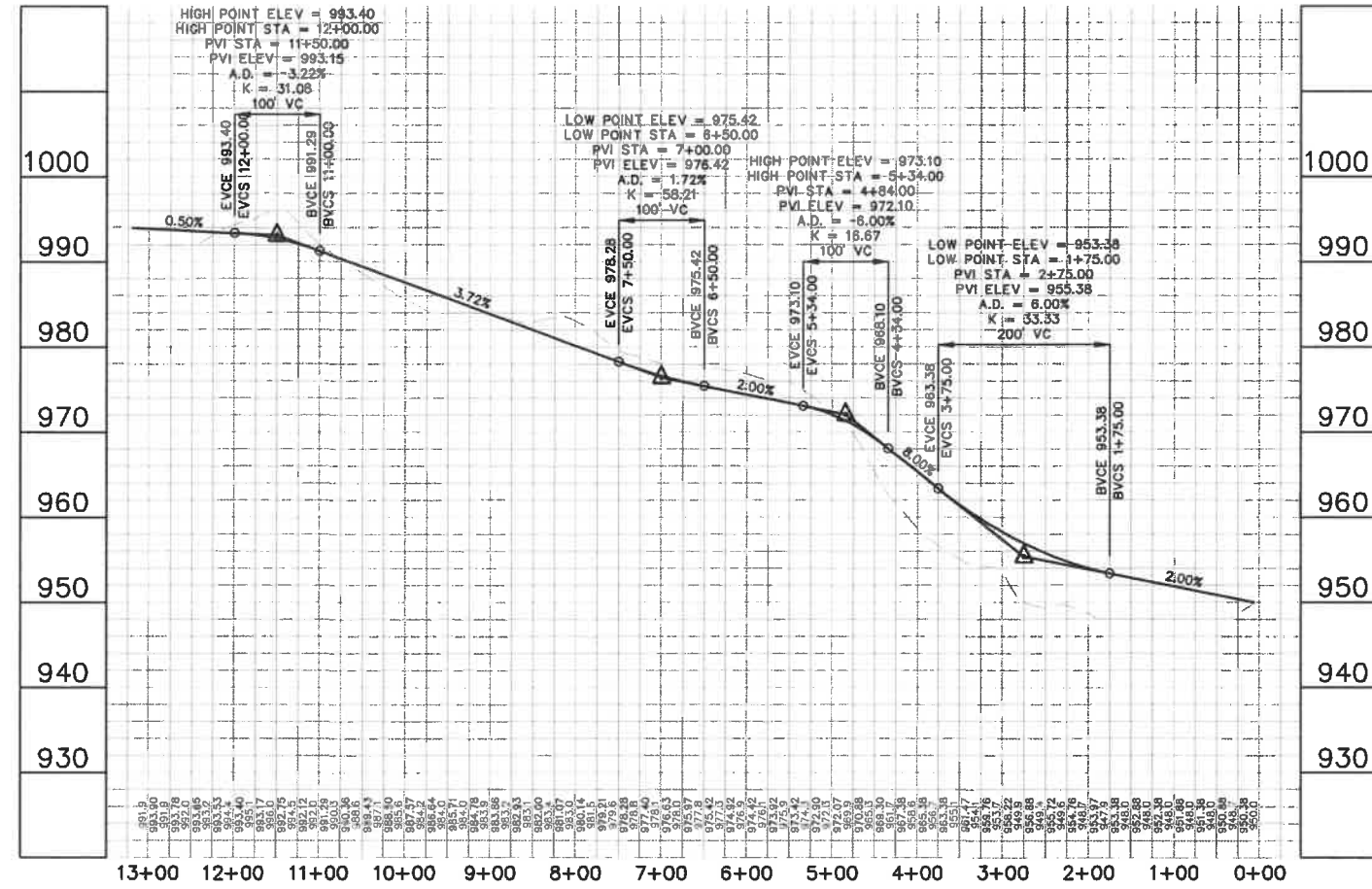
HORIZ: 1"=100'
VERT: 1"=10'

OWNER:
FAIRWAY ESTATES
OF GRANT, LLC

Jason Palmby
612-220-6641
jason@palmby.com

STILLWATER OAKS
RESIDENTIAL DEVELOPMENT PROJECT
CITY OF GRANT
WASHINGTON COUNTY, MN

STREET PROFILES



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

DATE: 07/28/22 Reg. No. 24348
PREPARED BY: CIVIL ENGINEERING SITE DESIGN
118 East Broadway St.
Marino, MN 56552
Phone: 763-314-0929
www.civildesign.com

REVISIONS		VERTICAL SCALE 1" = _____ feet
DATE 07/28/22	DRAWN BY SD	HORIZONTAL SCALE 1" = _____ feet (SEE SHEET C6.1.50)
	DESIGNED BY SD	
	CHECKED BY SD	

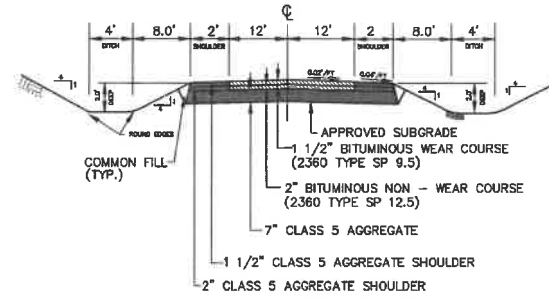
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FILE NO. 00835

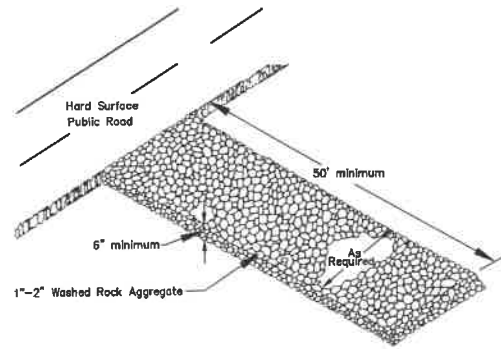
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C4.1-C4-4	SWPPP
C5.1-C5-3	EXISTING CONDITIONS & REMOVAL PLAN
C6.1	STREET PROFILES
C7.1	DETAILS

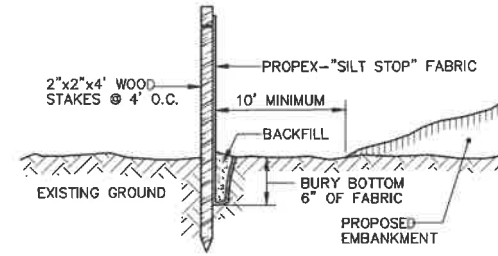
C6.1
Street Profiles



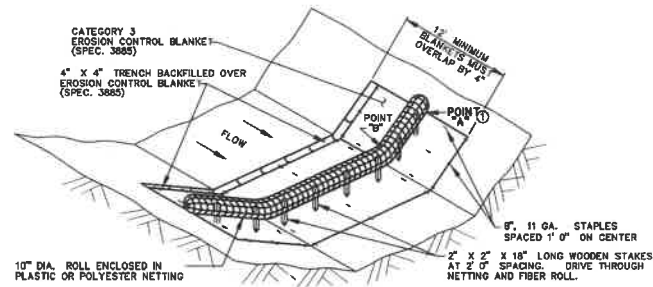
TYPICAL ROAD SECTION



ROCK CONSTRUCTION ENTRANCE

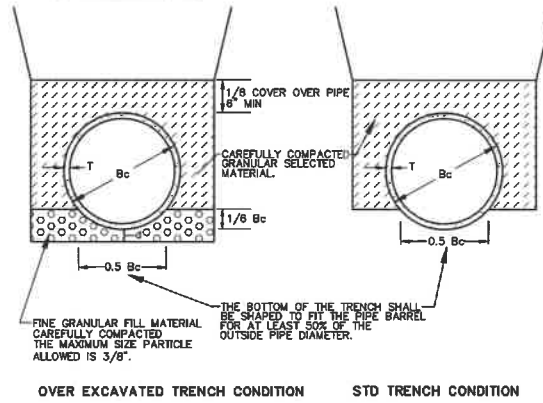


SILT FENCE DETAIL (NTS)



FIBER LOGS / BLANKET SYSTEM

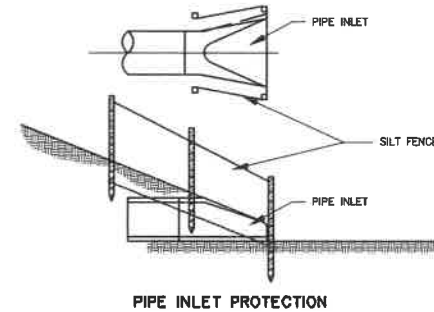
PIPE SIZE	d
< 30"	3"
30" - 60"	4"
> 60"	6"



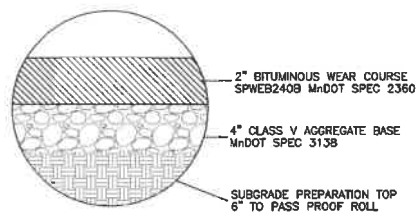
REFERENCE: CONCRETE PIPE DESIGN MANUAL PREPARED BY AMERICAN CONCRETE PIPE INSTITUTE

NOTE: FOR ROCK OR OTHER INCOMPRESSIBLE MATERIALS, THE TRENCH SHOULD BE OVEREXCAVATED A MINIMUM OF 6\"/>

CLASS C PIPE BEDDING



PIPE INLET PROTECTION



BITUMINOUS PAVEMENT TRAIL

NOTE: SOILS SPECIFICATIONS SUPERSEDE ABOVE LISTED SPECIFICATIONS

OWNER:
FAIRWAY ESTATES
OF GRANT, LLC

Jason Palmby
612-220-6641
jason@palmby.com

STILLWATER OAKS
RESIDENTIAL DEVELOPMENT PROJECT
CITY OF GRANT
WASHINGTON COUNTY, MN

DETAILS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 07/28/22 Reg. No. 24348
PREPARED BY: CIVIL ENGINEERING SITE DESIGN
118 East Broadway St.
PO Box 85
Monticello, MN 55362
Phone: 763-314-0928
www.civilead.com

REVISIONS	HORIZONTAL SCALE	VERTICAL SCALE
	1 inch = _____ feet (CALL SHEET DE 1.50)	1 inch = _____ feet

DATE 07/28/22	DRAWN BY SD	DESIGNED BY SD	CHECKED BY SD
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FILE NO. 00835

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C6.1	STREET PROFILES
C7.1	DETAILS

C7.1

Details